



PLANNING COMMISSION

Juan Tavares, Chairman

John Lane , Vice-Chairman

George A. Marquez Jay Goyal

Darren Smith Robert Palacio Kevan Hutchinson

AGENDA

PLANNING COMMISSION REGULAR MEETING

**WEDNESDAY, AUGUST 3, 2022 AT 5:30 P.M.
CITY OF BRAWLEY COUNCIL CHAMBERS
383 MAIN STREET
BRAWLEY, CALIFORNIA**

This meeting will be broadcast live at www.facebook.com/cityofbrawley .

To participate and make a public comment:
Join Zoom Meeting <https://zoom.us/join>
Meeting ID: 857 1989 1981 Passcode: 828148

1. CALL TO ORDER / ROLL CALL

2. APPROVE AGENDA

3. PUBLIC APPEARANCES

The Planning Commission encourages citizen participation on all matters presented for their consideration. The Planning Commission does not take action on items presented under Public Appearances.

Should a member of the public wish to provide verbal or written public comments prior to the meeting, please submit written comments via email to amontano@brawley-ca.gov or contact the Planning Division Office at 760/344.8822.

4. VAR 22-04

A variance (VAR 22-04) was submitted by property owner R Garcia Construction on behalf of property owner Geovan Valles Cobian on property located at 1174 Wlcome Street. The variance will allow for the parking spaces to be located on the required front yard.

Property Owner: Geovan Valles Cobian

Developer: R. Garcia Construction

Legal Description: Lots 103 Victoria Park, City of Brawley, County of Imperial, State of California, APN 048-401-051

5. NEXT MEETING DATE

6. ADJOURNMENT

Supporting documents are available for public review in the Community Development Services office, 205 S. Imperial Avenue, Brawley, CA 92227 Monday through Friday, during regular posted business hours.



Planning Commission

August 3, 2022

Agenda Item No. 4

STAFF REPORT

To: Planning Division
From: Andrea Montano, Planning Technician
Prepared by: Andrea Montano, Planning Technician
Subject: VAR 22-04- 1173 Welcome Street

RECOMMENDATION:

Approve VAR 22-04 as presented.

BACKGROUND INFORMATION:

The lots on the 1100 Block of Peach, B, C, and Welcome Streets are all substandard lots that must adhere to our current development standards. The lot in question, 1174 Welcome Street, is 2,800 square feet. They are required to have a 20 foot front yard setback, 20 foot rear yard setback, and a 5 foot side yard setback. They also need to have two required off street parking spaces that are outside of the required front yard. This leaves the floor area coverage off approximately 900 square feet. When designing their project, the developers were able to fit one off street parking in the garage, and are requesting that the second off street parking space be located in the required front yard on the paved driveway.

COMPLIANCE WITH CITY PLANS:

By granting a variance, 1174 Welcome Street would be permitted to develop an appropriate sized house on a substandard lot that would otherwise go vacant.

ALTERNATIVES:

The Planning Commission may choose to approve the variance with additional conditions or deny the request.

CONDITIONS:

1. The applicant shall obtain an encroachment permit from the Department of Public Works for any new, altered or unpermitted driveways necessary to access each of the parcels from a public street.
2. The applicant shall pay all fees associated with review and approval of the site plan and variance.
3. The applicant shall defend, indemnify, and hold harmless the City of Brawley, or its agents, officers and employees from any claim, action or proceedings against the City or its agents, officers, or employees to attack, set aside, void or annul, an approval by the Planning Commission or City Council concerning the subdivision. The City of Brawley shall promptly notify the applicant of any claim, action or proceedings and shall cooperate fully in the defense.
4. Any person or party who succeeds to the interest of the present owner by sale, assignment, transfer, conveyance, exchange or other means shall be bound by the conditions of approval.

5. Provide sewer and water, curb and gutter, sidewalks and other improvements to City standards before City issues certificate of occupancy for any structure for each parcel.
6. The applicant must obtain an easement for sewer and water lines.

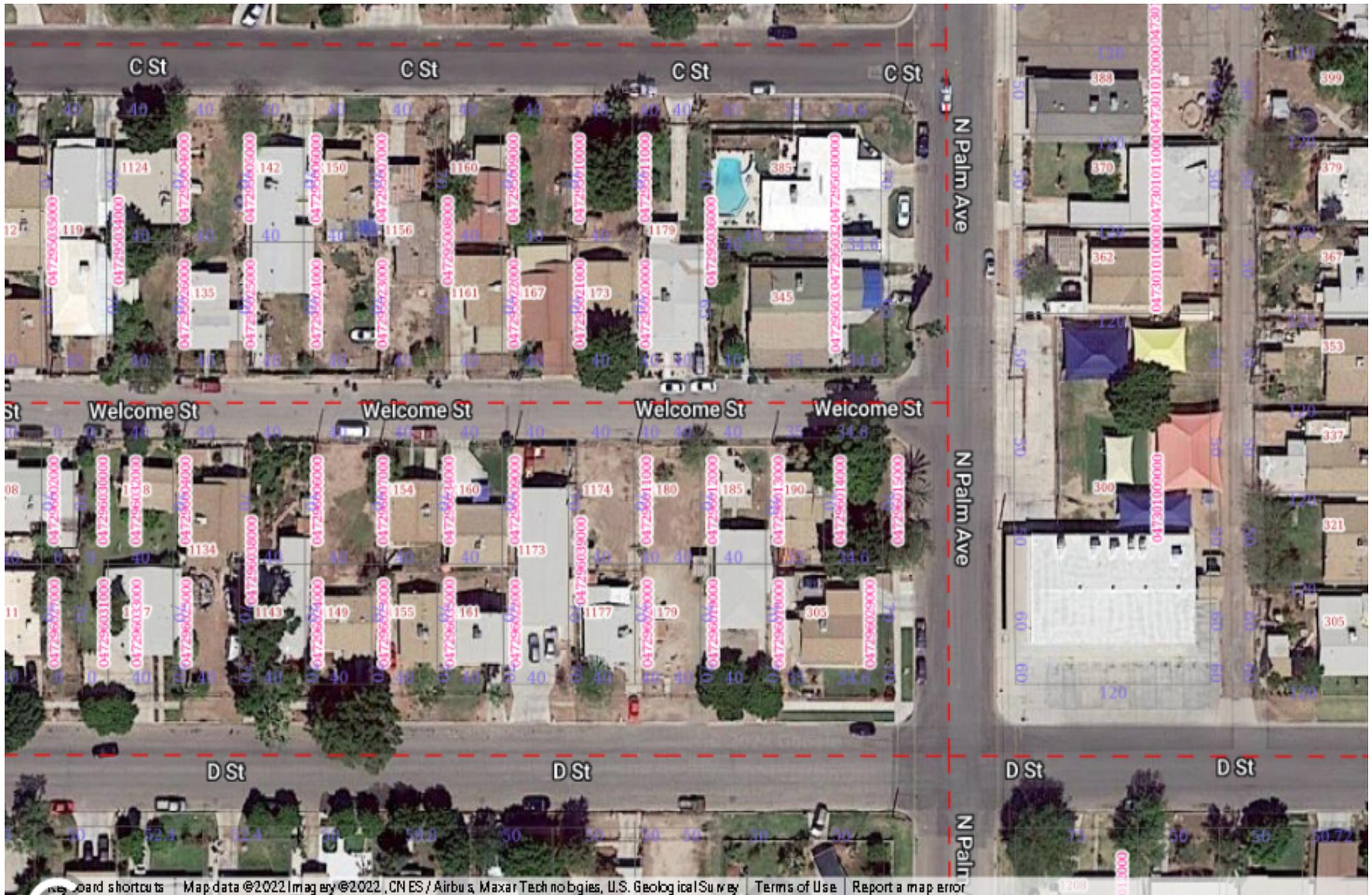
ATTACHMENTS:

Location Map, and Project Plans

CITY STAFF COMMENTS:

N/A

1174 Welcome Street



| | | | | |
|--|-----------|------------|---|---|
| 1" = 94 ft | Sub Title | 07/14/2022 |  |  |
| This map may represent a visual display of related geographic information. Data provided here on is not guarantee of actual field conditions. To be sure of complete accuracy, please contact the responsible staff for most up to date information. | | | | |



| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
|--|--------------|
| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| Chapter 1 - ADMINISTRATION | |
| 101.3.1 Scope | |
| Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels. | |
| Chapter 3 - GREEN BUILDING | |
| 301.1.1 Additions and alterations | |
| <ul style="list-style-type: none"> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration. Note directs code users to Civil Code Section 1101.1 et seq., regarding replacement of non-compliant plumbing fixtures. | |
| 301.2 Low-rise and high-rise buildings | |
| Banners identify provisions applying to low-rise only (LR) or high-rise only (HR). | |
| Division 4.1 - PLANNING AND DESIGN (SITE DEVELOPMENT) | |
| 4.106.2 Storm water drainage and retention during construction | |
| Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction. | |
| 4.106.3 Grading and paving | |
| Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not alter the existing drainage path. | |
| 4.106.4 Electric vehicle (EV) charging for new construction | |
| <ul style="list-style-type: none"> Comply with Section 4.106.4.1 and 4.106.4.2 for future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions on a case-by-case basis as determined by the Local Enforcing Agency: <ol style="list-style-type: none"> Where there is no commercial power supply. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit. | |
| EV charging: 1- & 2-family dwellings/tenements with attached private garages | |
| <ul style="list-style-type: none"> Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Service panel or subpanel circuit | |
| 4.106.4.1 & 4.106.4.1.1 | |

HCD 011, 605 (Rev. 4/16) Page 1 of 10

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
|---|--------------|
| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| 4.106.4.1 & 4.106.4.1.1 continued | |
| <ul style="list-style-type: none"> directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". | |
| EV charging for multifamily dwellings | |
| <ul style="list-style-type: none"> Applies to building sites with 17 or more multifamily dwelling units constructed on the site. 3% of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces. EV charging spaces shall be rounded up to the nearest whole number. Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. | |
| 4.106.4.2 | |
| EV charging space (EV space) locations | |
| <ul style="list-style-type: none"> Construction documents shall indicate the location of proposed EV spaces. At least 1 EV space shall be located in common use areas and available for use by all residents. When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, Item 3, shall comply with at least 1 of the following options: <ol style="list-style-type: none"> The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2. | |
| 4.106.4.2.1 | |
| EV charging space (EV space) dimensions | |
| <ul style="list-style-type: none"> EV spaces shall be designed to comply with the following: <ol style="list-style-type: none"> The minimum length of each EV space shall be 18 feet. The minimum width of each EV space shall be 9 feet. One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. <ol style="list-style-type: none"> Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction. | |
| 4.106.4.2.2 | |
| Single EV space required | |
| <ul style="list-style-type: none"> Install listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. | |
| 4.106.4.2.3 | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
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| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| 4.106.4.2.3 continued | |
| <ul style="list-style-type: none"> Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. | |
| 4.106.4.2.4 | |
| Multiple EV spaces required | |
| <ul style="list-style-type: none"> Construction documents shall identify the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. | |
| 4.106.4.2.5 | |
| Identification | |
| <ul style="list-style-type: none"> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. | |
| Notes: | |
| <ol style="list-style-type: none"> The California Department of Transportation adopts and publishes the "California Manual on Uniform Traffic Control Devices (California MUTCD)" to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies & Directives Number 12-01. Website: http://www.dot.ca.gov/hq/traffops/policy/13-01.pdf See Vehicle Code Section 22511 for EV charging space signage in off-parking facilities and for use of EV charging spaces. The Governor's Office of Planning and Research (OPR) published a "Zero-Emission Vehicle Community Readiness Guidebook" which provides helpful information for local governments, residents and businesses. Website: http://oppr.ca.gov/docs/ZEV_Guidebook.pdf | |
| Division 4.2 - ENERGY EFFICIENCY | |
| Scope | |
| <ul style="list-style-type: none"> Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2016 California Energy Code. | |
| 4.201.1 & 5.201.1 | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
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| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| Division 4.3 - WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE) | |
| Water conserving plumbing fixtures and fittings | |
| <ul style="list-style-type: none"> Plumbing fixtures and fittings shall comply with the following: <ol style="list-style-type: none"> Water Closets: ≤ 1.28 gal/flush Wall Mounted Urinals: ≤ 0.125 gal/flush; all other urinals: ≤ 0.5 gal/flush Single Showerheads: ≤ 2.0 gpm @ 80 psi Multiple Showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gpm @ 80 psi, or only one shower outlet is to be in operation at a time. Residential Lavatory Faucets: Maximum Flow Rate ≤ 1.2 gpm @ 60 psi; Minimum Flow Rate ≤ 0.8 gpm @ 20 psi Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi Metering Faucets: ≤ 0.25 gallons per cycle Kitchen Faucets: ≤ 1.8 gpm @ 60 psi, temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm | |
| 4.303.1 | |
| Standards for plumbing fixtures and fittings | |
| <ul style="list-style-type: none"> Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code. | |
| 4.303.2 | |
| Outdoor potable water use in landscape areas | |
| <ul style="list-style-type: none"> After December 1, 2016, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following: <ol style="list-style-type: none"> A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MVELD), whichever is more stringent, or Projects with aggregate landscape areas less than 2500 square feet may comply with the MVELD's Appendix D Prescriptive Compliance Option. | |
| 4.303.1 | |
| Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (ENHANCED DURABILITY & REDUCED MAINTENANCE) | |
| Rodent proofing | |
| <ul style="list-style-type: none"> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents. | |
| 4.406.1 | |
| Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING) | |
| Construction waste reduction of at least 65% | |
| <ul style="list-style-type: none"> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4. OR meet a more stringent local construction and demolition waste management ordinance. | |
| 4.408.1 | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
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| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| 4.408.1 continued | |
| <ul style="list-style-type: none"> Documentation is required per Section 4.408.5. Exceptions: <ol style="list-style-type: none"> Excavated soil and land-clearing debris. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. | |
| 4.408.2 | |
| Construction waste management plan | |
| <ul style="list-style-type: none"> Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction. | |
| 4.408.3 | |
| Waste management company | |
| <ul style="list-style-type: none"> Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1. | |
| 4.408.4 | |
| Waste stream reduction alternative | |
| <ul style="list-style-type: none"> (LR) Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. | |
| 4.408.4.1 | |
| Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (BUILDING MAINTENANCE & OPERATION) | |
| Operation and maintenance manual | |
| <ul style="list-style-type: none"> At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building. | |
| 4.401.1 | |
| Recycling by occupants | |
| <ul style="list-style-type: none"> Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas) that serves all buildings on the site and is identified for the depositing, storage and collection of hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a locally enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et. seq. are not required to comply with the organic waste portion of this section. | |
| 4.410.2 | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
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| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| Division 4.5 - ENVIRONMENTAL QUALITY (FIREPLACES) | |
| General | |
| <ul style="list-style-type: none"> Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances. | |
| 4.503.1 | |
| Division 4.5 - ENVIRONMENTAL QUALITY (POLLUTANT CONTROL) | |
| Protection during construction | |
| <ul style="list-style-type: none"> At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used. | |
| 4.504.1 | |
| Adhesives, sealants and caulks | |
| <ul style="list-style-type: none"> Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: <ol style="list-style-type: none"> Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in Subsection 2 below. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations (CCR), Title 17, commencing with Section 94507. | |
| 4.504.2.1 | |
| Paints and coatings | |
| <ul style="list-style-type: none"> Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. | |
| 4.504.2.2 | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
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| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| 4.504.2.3 | |
| Aerosol paints and coatings | |
| <ul style="list-style-type: none"> Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Section 94522(e)(1) and (f)(1) of the CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. | |
| 4.504.3 | |
| Carpet systems | |
| <ul style="list-style-type: none"> Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: <ol style="list-style-type: none"> Carpet and Rug Institute's Green Label Plus Program California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350) NSF/ANSI 140 at the Gold level Scientific Certifications Systems Indoor Advantage™ Gold | |
| 4.504.3.1 | |
| Carpet cushion | |
| <ul style="list-style-type: none"> Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program. | |
| 4.504.3.2 | |
| Carpet adhesive | |
| <ul style="list-style-type: none"> Carpet adhesives shall meet the requirements of Table 4.504.1. | |
| 4.504.4 | |
| Resilient flooring systems | |
| <ul style="list-style-type: none"> Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following: <ol style="list-style-type: none"> Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database Products certified under UL GREENGUARD Gold (formerly the GreenGuard Children & Schools Program) Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350) | |
| 4.504.5 | |
| Composite wood products | |
| <ul style="list-style-type: none"> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
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| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| 4.504.5 continued | |
| <ul style="list-style-type: none"> for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et. seq.), as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1. Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include oriented strand board, structural plywood, structural panels, structural composite lumber, hardboard, structural panel, structural panels, prefabricated wood joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120. (a). | |
| 4.504.5.1 | |
| Documentation | |
| <ul style="list-style-type: none"> Verification of compliance shall be provided as requested by the enforcing agency, and as required in Section 4.504.5.1. | |
| 4.504.5.2 | |
| Concrete slab foundations | |
| <ul style="list-style-type: none"> Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section. | |
| 4.505.1 | |
| Capillary break | |
| <ul style="list-style-type: none"> A capillary break shall be installed in compliance with at least 1 of the following: <ol style="list-style-type: none"> A 4-inch thick base of 1/2-inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curing shall be used. For additional information, see American Concrete Institute, ACI 302.2R-05 Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional. | |
| 4.505.2.1 | |
| Moisture content of building materials | |
| <ul style="list-style-type: none"> Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 15% moisture content. Moisture content shall be verified in compliance with the following: <ol style="list-style-type: none"> Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped end of each piece to be verified. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure. | |
| 4.505.3 | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
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| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| Division 4.5 - ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY & EXHAUST) | |
| Bathroom exhaust fans | |
| <ul style="list-style-type: none"> Each bathroom shall be mechanically ventilated and shall comply with the following: <ol style="list-style-type: none"> Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. <ol style="list-style-type: none"> Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of less than 50% to a maximum of 80%. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen a "bathroom" is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom. | |
| 4.506.1 | |
| Division 4.6 - ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT) | |
| Heating and air conditioning system design | |
| <ul style="list-style-type: none"> Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods: <ol style="list-style-type: none"> The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems functions are acceptable. | |
| 4.507.2 | |
| CHAPTER 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATION (QUALIFICATIONS, VERIFICATIONS) | |
| Installer training | |
| <ul style="list-style-type: none"> HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include but are not limited to the following: <ol style="list-style-type: none"> State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency. | |
| 702.1 | |

| CALGreen. RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 | |
|---|--------------|
| 2016 CALGREEN CODE | |
| SECTION | REQUIREMENTS |
| 702.2 | |
| Special inspection | |
| <ul style="list-style-type: none"> Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting. | |
| 703.1 | |
| Documentation | |
| <ul style="list-style-type: none"> Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen. | |

OWNER:

PROJECT:

STREET ADDRESS:

CALIFORNIA GREEN BUILDING STANDARDS CODE

ENGINEER:

SEAL:

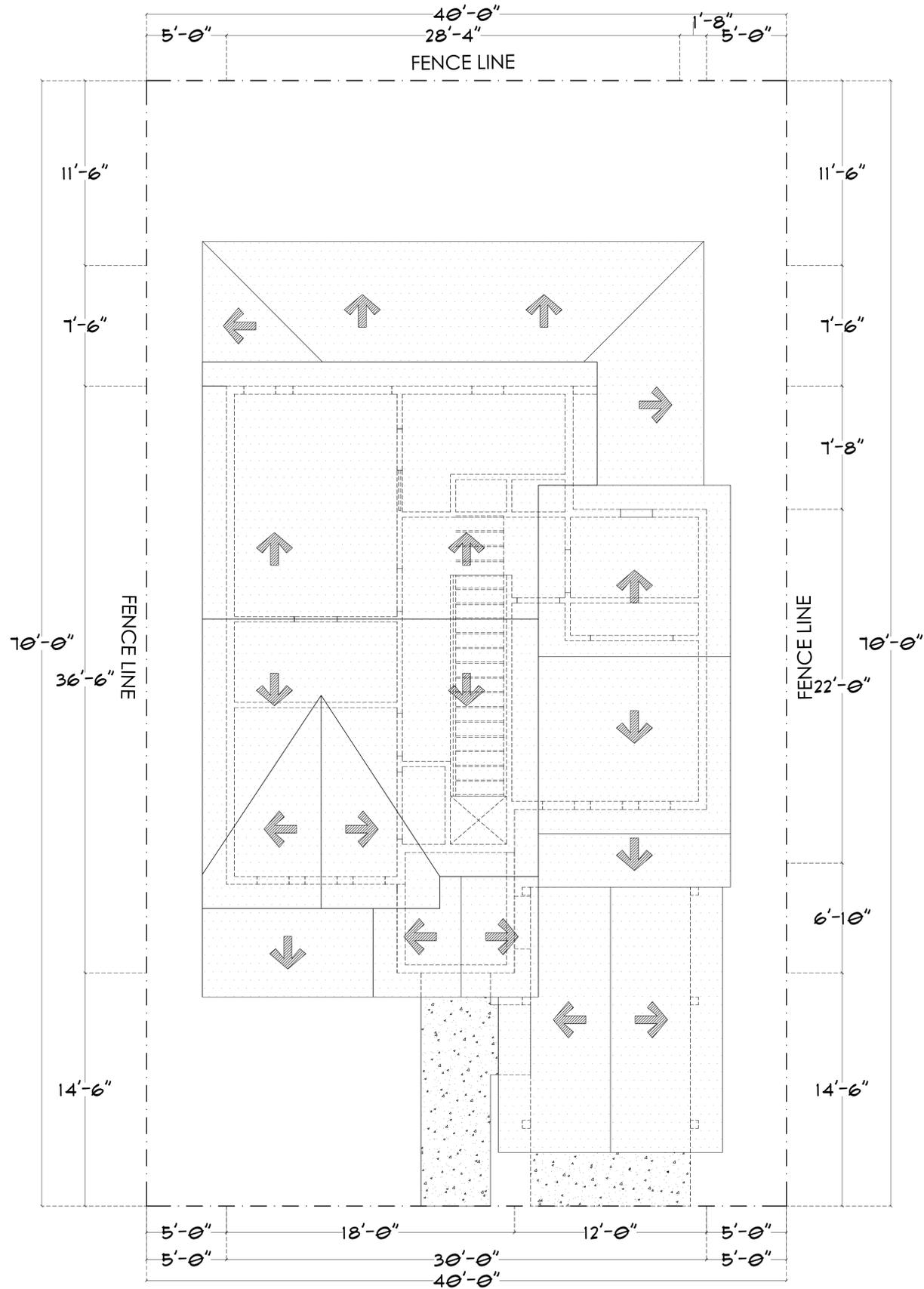
REVISIONS:

DRAWN:

DATE: MARCH 11 2021

SCALE: INDICATED

S H E E T.



PROJECT DATA

RESIDENCE

Property Address :

TYPE OF CONSTRUCTION : V-B
 BUILDING USE : RESIDENTIAL
 STORIES : 1 (ONE)

AREA TABULATIONS :

LIVING AREA 1,439 SQ. FT.
 GARAGE 275 SQ. FT.
 CARPORT 165 SQ. FT.
 PROPOSED BUILDING 1,879 SQ. FT.

SHEET INDEX

| | |
|----|--|
| 01 | CALIFORNIA GREEN BUILDING STANDARDS CODE |
| 02 | SITE PLAN |
| 03 | FLOOR PLAN PROPOSAL |
| 04 | ELEVATION PLAN |
| 05 | LIGHTING PLAN |
| 06 | MECHANICAL PLAN |
| 07 | FOUNDATION PLAN |
| 08 | FRAMING PLAN |
| 09 | PLUMBING PLAN |
| 10 | SEWER PLAN |

WALL REFERENCE

- NEW 2x6 WOOD FRAMED WALL @ 16 o.c W/ 1/2" DRYWALL AT INTERIOR SIDE & 7/8" STUCCO AT EXTERIOR SIDE. ADD R-19 INSULATION
- 2X6 STUD WALL @ 16" O.C. W/ 5/8" GYP. BOARD TYPE 'X' FROM FOUND. TO ROOF SHT'G. @ GARAGE /MAIN HOUSE
- 2X6 STUD WALL @ 16" O.C. W/ 7/8" STUCCO AT EXTERIOR SIDE.
- 2X4 STUD WALL @ 16" O.C. W/1/2" GYP. BOARD TYPE 'X'

DOOR SCHEDULE

| NO. | SIZE | QTY. | DESCRIPTION |
|-----|---------|------|--|
| D1 | 3x7' | 2 | DECORATIVE STEEL INSWING ENTRY DOOR. |
| D2 | 2'6"x7' | 5 | 2-PANEL ROUND TOP HOLLOW CORE SMOOTH MOLDED COMPOSITE INTERIOR SINGLE PREHUNG DOOR |
| D3 | 5x7' | 2(1) | 2-PANEL HOLLOW MOLDED COMPOSITE INTERIOR SINGLE SLIDING CLOSET DOOR |
| D4 | 4x7' | 2(1) | 2-PANEL HOLLOW MOLDED COMPOSITE INTERIOR SINGLE SLIDING CLOSET DOOR |
| D5 | 2'6"x7' | 2 | POCKET DOOR 2-PANEL ROUND TOP HOLLOW CORE SMOOTH MOLDED COMPOSITE INTERIOR SINGLE PREHUNG DOOR |
| D6 | 6x7' | 1 | 15-LITE GLASS VYNIL SLIDING PATIO DOOR WITH SCREEN |
| D7 | 3x7' | 1 | STEEL INSWING GARAGE ENTRY CAR DOOR |

WINDOW SCHEDULE

| NO. | SIZE | QTY. | DESCRIPTION |
|-----|--------|------|---------------------------------------|
| W1 | 2'x4" | 7 | VYNIL DOUBLE PANEL SINGLE HUNG WINDOW |
| W2 | 2'x48" | 3 | VYNIL DOUBLE PANEL SLIDING WINDOW |
| W3 | 4'x4" | 1 | VYNIL DOUBLE PANEL SLIDING WINDOW |
| W4 | 3'x3" | 2 | VYNIL DOUBLE PANEL SLIDING WINDOW |
| W5 | 2'x2" | 2 | VYNIL DOUBLE PANEL SLIDING WINDOW |

HEADER SCHEDULE

| SIZE | DESCRIPTION |
|-------|----------------------|
| 4"x4" | ALL INTERIOR HEADERS |
| 4"x6" | ALL EXTERIOR HEADERS |

SERVICE SYMBOLOGY

- WATER
- SEWER
- OVERHEAD ELECTRICAL
- GAS LINE



OWNER:

PROJECT:

STREET ADDRESS:

SITE PLAN

ENGINEER:

SEAL:

REVISIONS:

DRAWN:

DATE: MARCH 11 2021

SCALE: INDICATED

S H E E T.

1

SITE PLAN

1/8" = 1' - 0"

02



PROJECT DATA

RESIDENCE

Property Address :

TYPE OF CONSTRUCTION : V-B
 BUILDING USE : RESIDENTIAL
 STORIES : 1 (ONE)

AREA TABULATIONS :

LIVING AREA 1,439 SQ. FT.
 GARAGE 275 SQ. FT.
 CARPORT 165 SQ. FT.
 PROPOSED BUILDING 1,879 SQ. FT.

SHEET INDEX

- 01 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 02 SITE PLAN
- 03 FLOOR PLAN PROPOSAL
- 04 ELEVATION PLAN
- 05 LIGHTING PLAN
- 06 MECHANICAL PLAN
- 07 FOUNDATION PLAN
- 08 FRAMING PLAN
- 09 PLUMBING PLAN
- 10 SEWER PLAN

WALL REFERENCE

- NEW 2x6 WOOD FRAMED WALL @ 16" O.C. W/ 1/2" DRYWALL AT INTERIOR SIDE & 7/8" STUCCO AT EXTERIOR SIDE. ADD R-19 INSULATION
- 2X6 STUD WALL @ 16" O.C. W/ 5/8" GYP. BOARD TYPE 'X' FROM FOUND. TO ROOF SH'T'G. @ GARAGE /MAIN HOUSE
- 2X6 STUD WALL @ 16" O.C. W/ 7/8" STUCCO AT EXTERIOR SIDE.
- 2X4 STUD WALL @ 16" O.C. W/1/2" GYP. BOARD TYPE 'X'

DOOR SCHEDULE

| NO. | SIZE | QTY. | DESCRIPTION |
|-----|---------|------|--|
| D1 | 3'x7' | 2 | DECORATIVE STEEL INSWING ENTRY DOOR. |
| D2 | 2'6"x7' | 5 | 2-PANEL ROUND TOP HOLLOW CORE SMOOTH MOLDED COMPOSITE INTERIOR SINGLE PREHUNG DOOR |
| D3 | 5'x7' | 2(1) | 2-PANEL HOLLOW MOLDED COMPOSITE INTERIOR SINGLE SLIDING CLOSET DOOR |
| D4 | 4'x7' | 2(1) | 2-PANEL HOLLOW MOLDED COMPOSITE INTERIOR SINGLE SLIDING CLOSET DOOR |
| D5 | 2'6"x7' | 2 | POCKET DOOR 2-PANEL ROUND TOP HOLLOW CORE SMOOTH MOLDED COMPOSITE INTERIOR SINGLE PREHUNG DOOR |
| D6 | 8'x7' | 1 | STEEL INSWING GARAGE ENTRY CAR DOOR |

WINDOW SCHEDULE

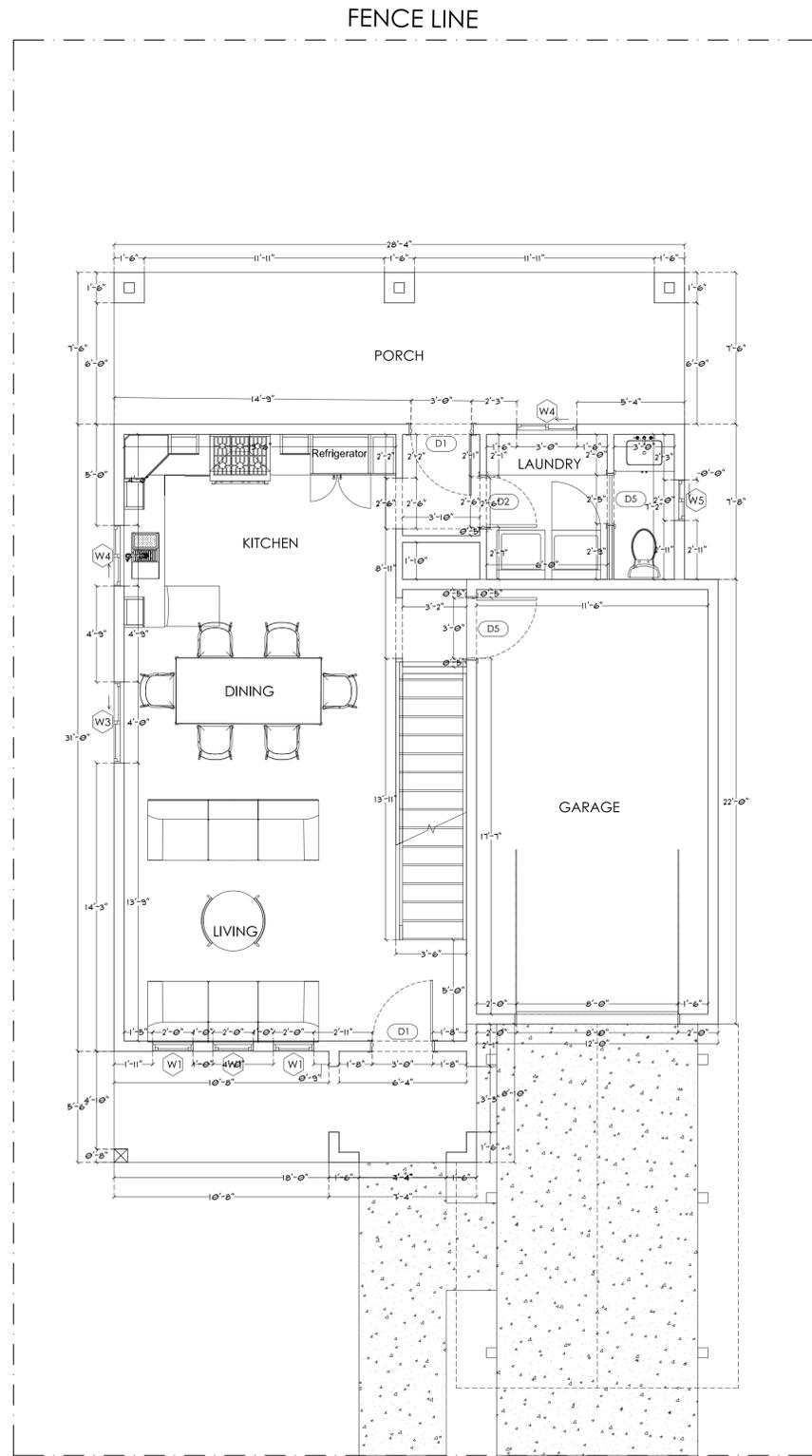
| NO. | SIZE | QTY. | DESCRIPTION |
|-----|---------|------|---------------------------------------|
| W1 | 2'x4'4" | 7 | VYNIL DOUBLE PANEL SINGLE HUNG WINDOW |
| W2 | 2'x4'8" | 3 | VYNIL DOUBLE PANEL SLIDING WINDOW |
| W3 | 4'x4' | 1 | VYNIL DOUBLE PANEL SLIDING WINDOW |
| W4 | 3'x3' | 2 | VYNIL DOUBLE PANEL SLIDING WINDOW |
| W5 | 2'x2' | 2 | VYNIL DOUBLE PANEL SLIDING WINDOW |
| W6 | 5'x4' | 1 | VYNIL DOUBLE PANEL SLIDING WINDOW |

HEADER SCHEDULE

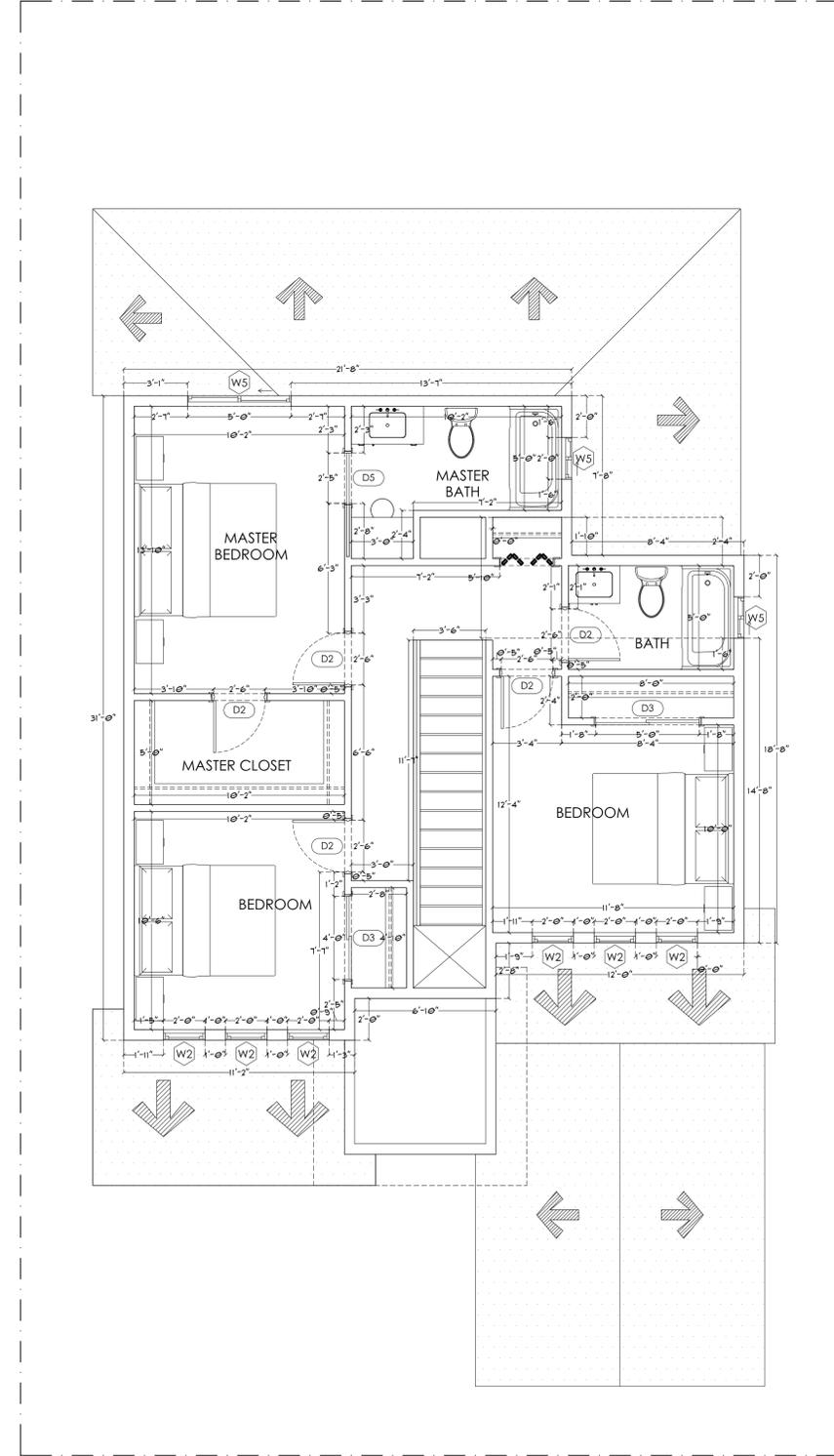
| SIZE | DESCRIPTION |
|-------|----------------------|
| 4"X4" | ALL INTERIOR HEADERS |
| 4"X6" | ALL EXTERIOR HEADERS |

SERVICE SYMBOLOGY

- WATER
- SEWER
- OVERHEAD ELECTRICAL
- GAS LINE



1 MAIN FLOOR
 1/4" = 1' - 0"



2 SECOND FLOOR
 1/4" = 1' - 0"

OWNER:

PROJECT: STREET ADDRESS:

FLOOR PLAN PROPOSAL

ENGINEER:

SEAL:

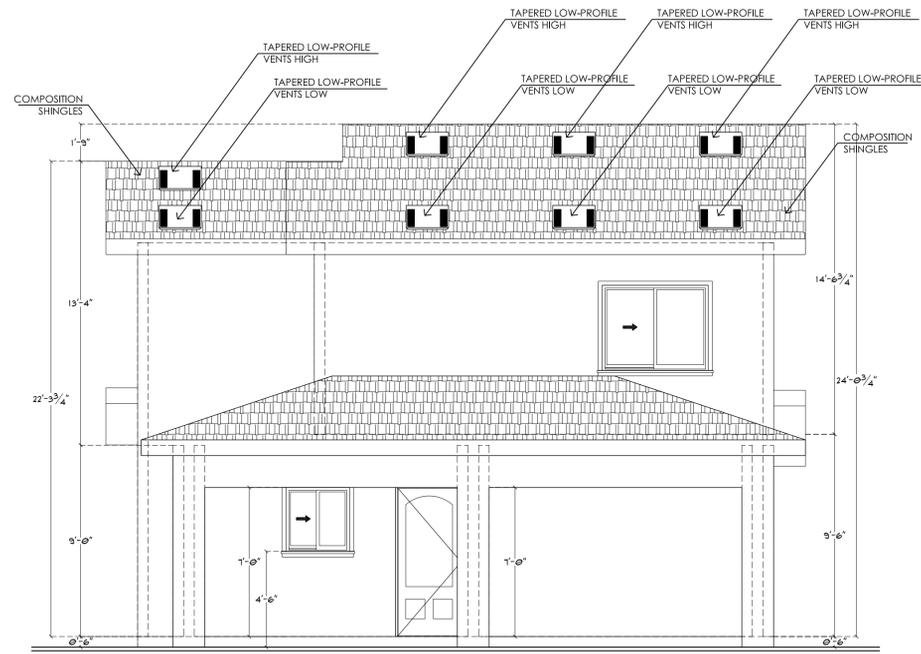
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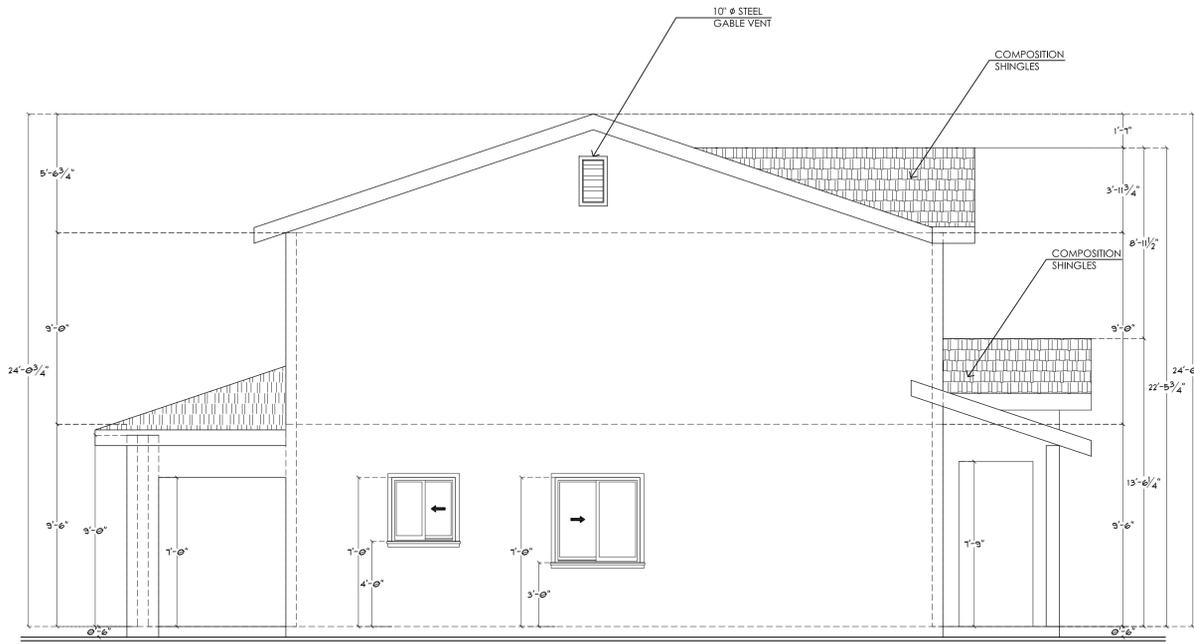
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SCALE: INDICATED

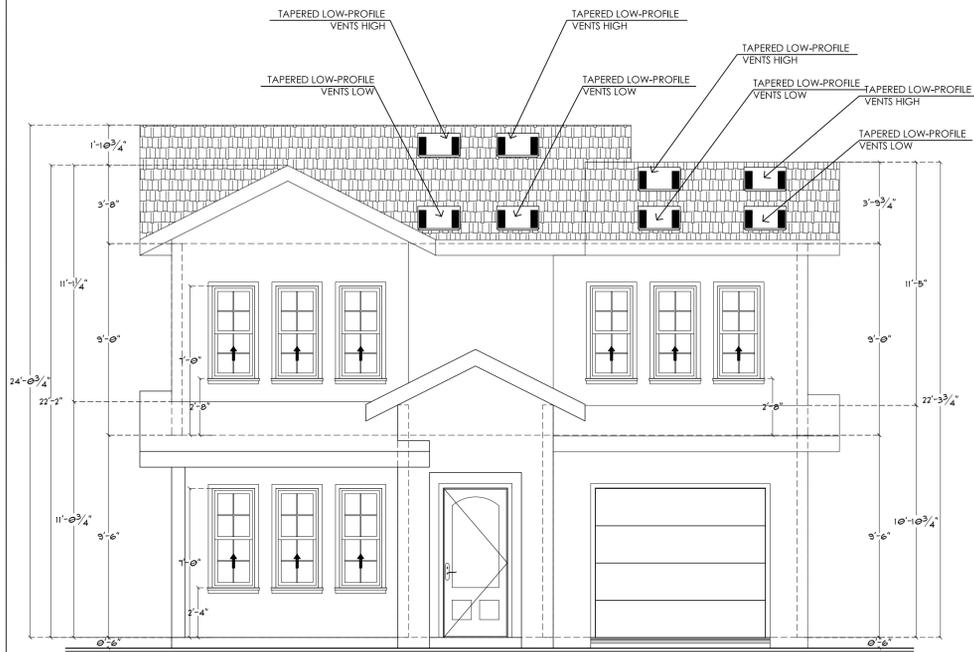
S H E E T.



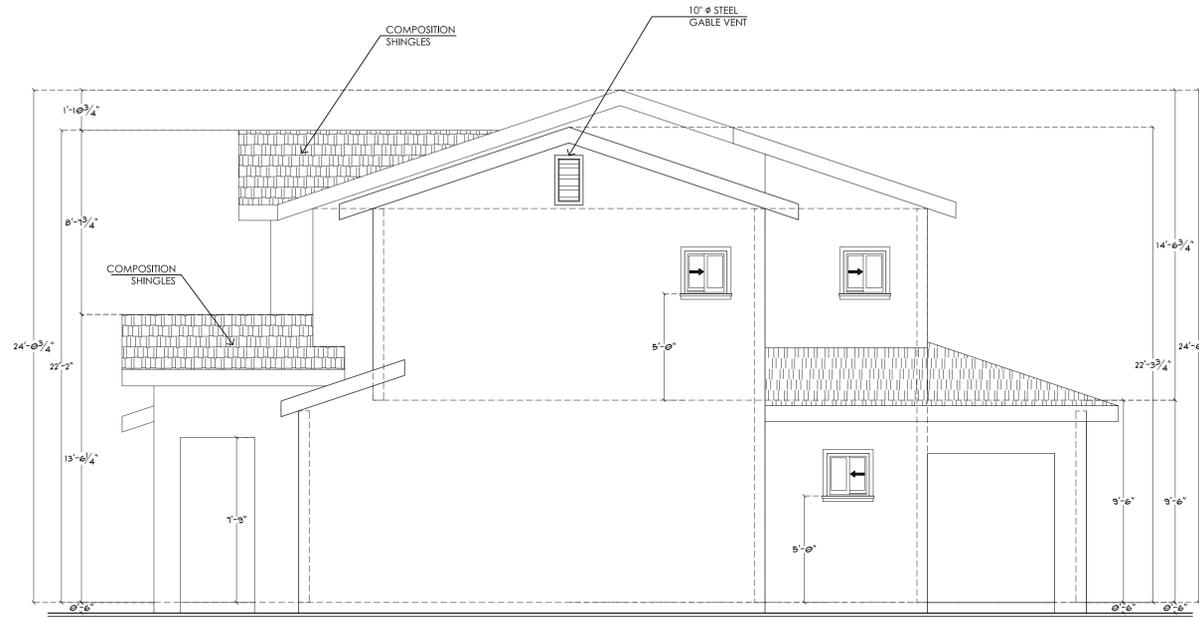
1 EAST FRONT ELEVATION
1/4" = 1' - 0"



2 SOUTH ELEVATION
1/4" = 1' - 0"



3 WEST ELEVATION
1/4" = 1' - 0"



4 NORTH ELEVATION
1/4" = 1' - 0"



OWNER:

PROJECT:

STREET ADDRESS:

ELEVATIONS

ENGINEER:

SEAL:

REVISIONS:

DRAWN:

DATE: MARCH 11 2021

SCALE: INDICATED

SHEET

NET FREE AREA

ATTIC VENTILATION

TOTAL SQ. FT. ATTIC FLOOR
HOUSE : 1,250

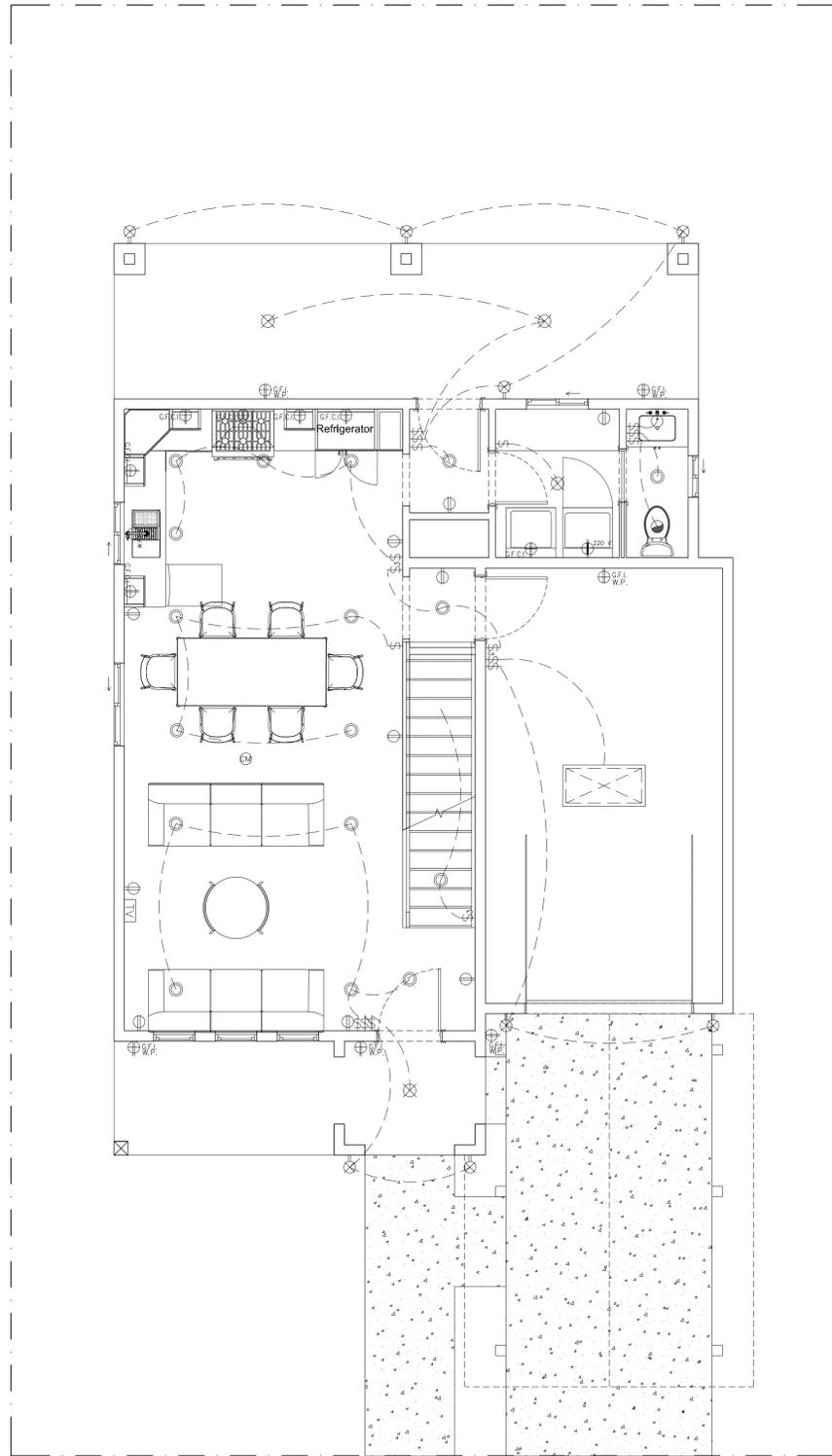
NET FREE AREA CALCULATION
1,250 / 300 = 4.16

HOUSE : 4.5 sq.ft.

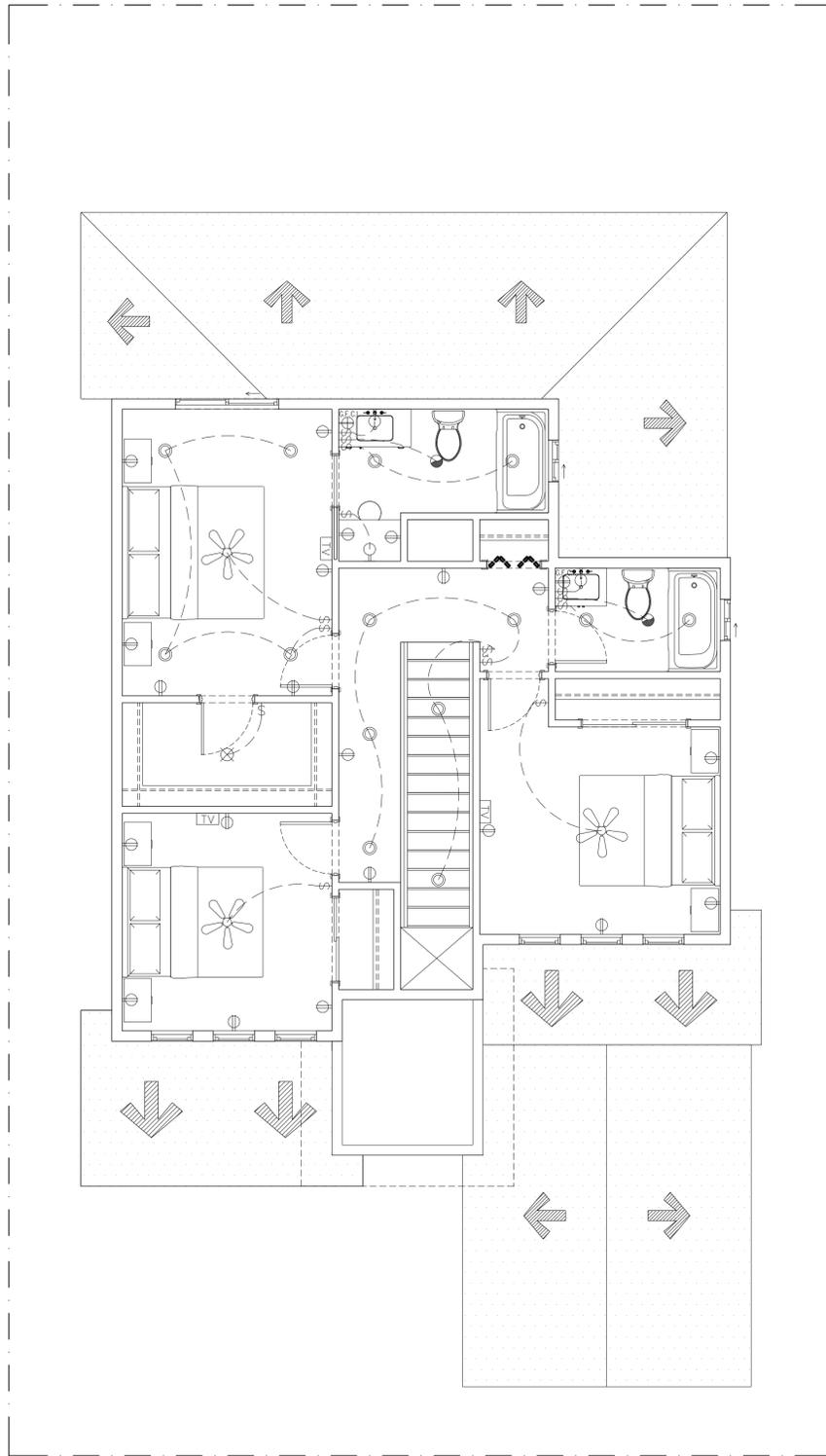
(2 18"X24" EXHAUST VENT .97 Sq. Ft.) 2 x .97 = 1.94
(9 TAPERED LOW-PROFILE VENTS HIGH 0.5 sq.ft.) 8 X 0.5 = 4.0
(9 TAPERED LOW-PROFILE VENTS LOW 0.5 sq.ft.) 8 X 0.5 = 4.0



FENCE LINE



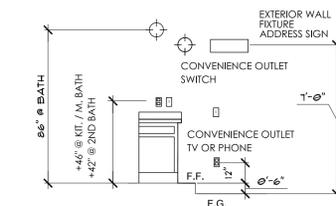
FENCE LINE



ELECTRICAL SYMBOLS

- WALL DUPLEX OUTLET 110 V. MOUNT BOX HORIZONTAL AT 12" (verify height). (ALL AFCI EXCEPT EXTERIOR, KITCHEN, GARAGE, BATHROOMS AND LAUNDRY).
- WALL DUPLEX OUTLET 220 V. (verify height).
- G.F.I. GROUND FAULT INTERCEPTOR -PROTECTED C.O.
- WEATHER G.F.C.I. PROOF OUTLET 110 V. (verify high).
- ARC FAULT INTERCEPTOR
- SWITCH
- THREE-WAY SWITCH
- CARBON MONOXIDE DETECTOR/ALARM
- DUAL/SWITCH WALL MOUNTED OCC. SENSOR
- LED DECORATIVE CEILING MOUNTED LIGHT FIXTURE
- LED RECESSED LIGHT FIXTURE WP ABOVE TUB
- DOOR CHIME
- EXTERIOR WALL MOUNTED FLOURESCENT 26 WATT CFL OR ON MOTION SENSOR AND/OR PHOTOCELL
- INTERIOR WALL MOUNTED LIGHT FIXTURE AND DIMMER
- EXHAUST FAN W/DUCT TO EXTERIOR
- 110 V. SMOKE DETECTOR W/BATTERY BACK-UP
- F A N
- FLUORESCENT 1X2 LIGHT FIXTURE
- TELEPHONE/DATA OUTLET
- TELEVISION MPOE BOX OUTLET
- MAIN ELECTRICAL PANEL 200 AMP.
- AC DISCONNECT

TYPICAL INSTALLATION HEIGHT UNLESS NOTED OTHERWISE



OWNER:

PROJECT:

STREET ADDRESS:

LIGHTING PLAN

ENGINEER:

SEAL:

REVISIONS:

DRAWN:

DATE: MARCH 11 2021

SCALE: INDICATED

S H E E T.



OWNER:

PROJECT:

STREET ADDRESS:

MECHANICAL PLAN

ENGINEER:

SEAL:

REVISIONS:

DRAWN:

DATE: MARCH 11 2021

SCALE: INDICATED

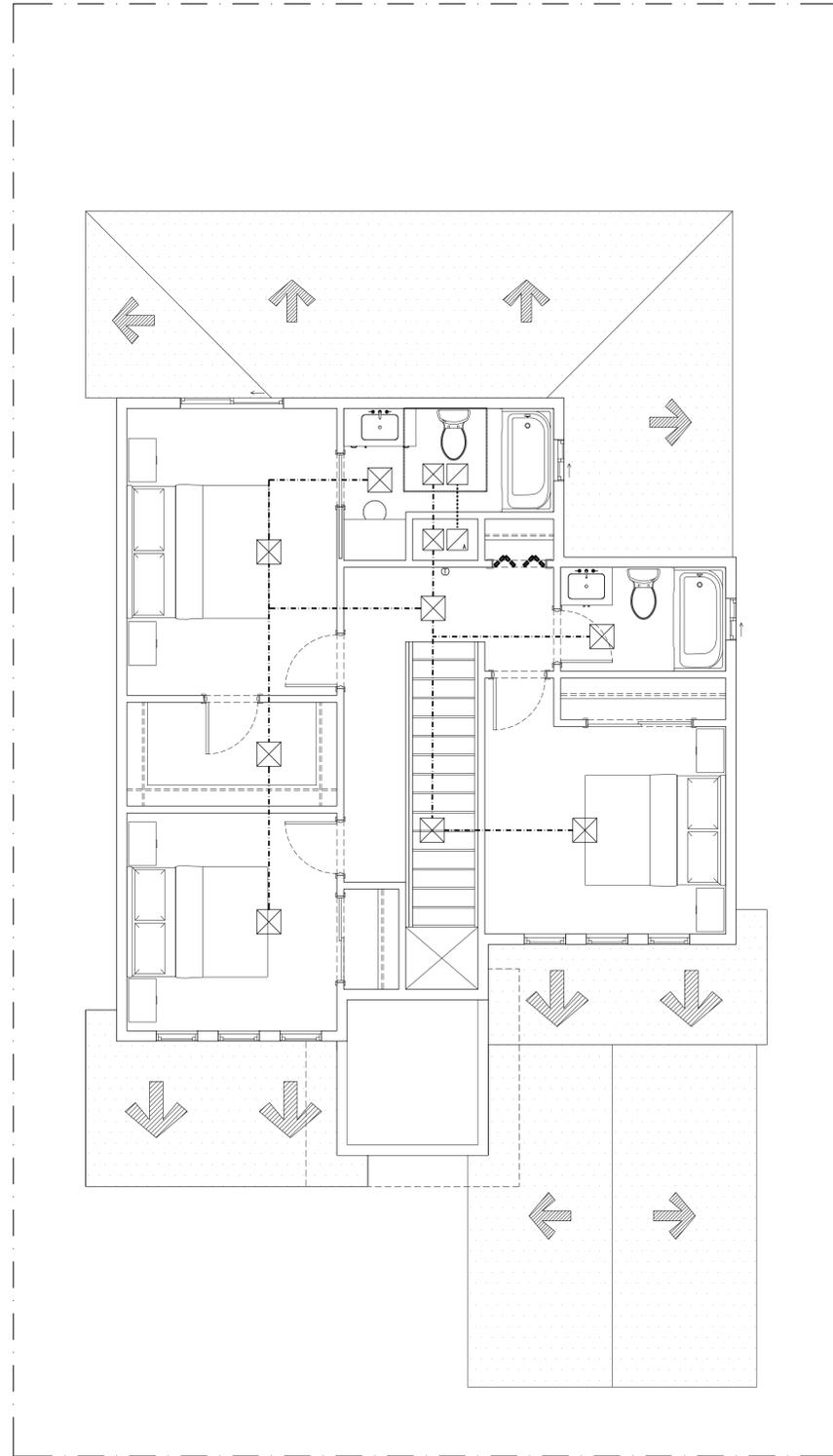
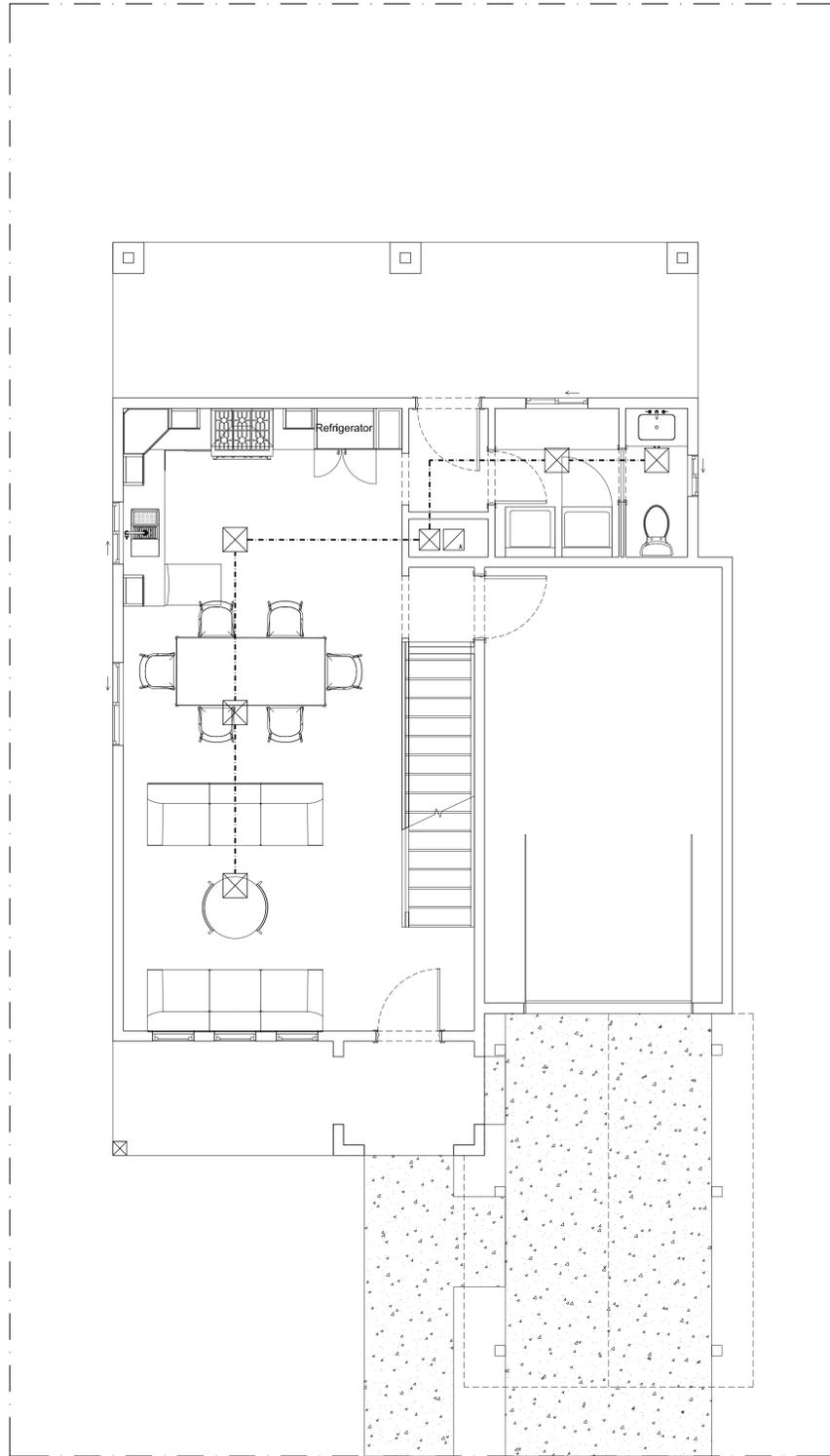
S H E E T.

06

FENCE LINE

FENCE LINE

FENCE LINE



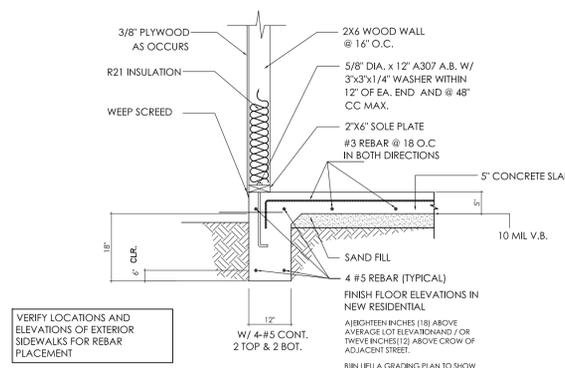
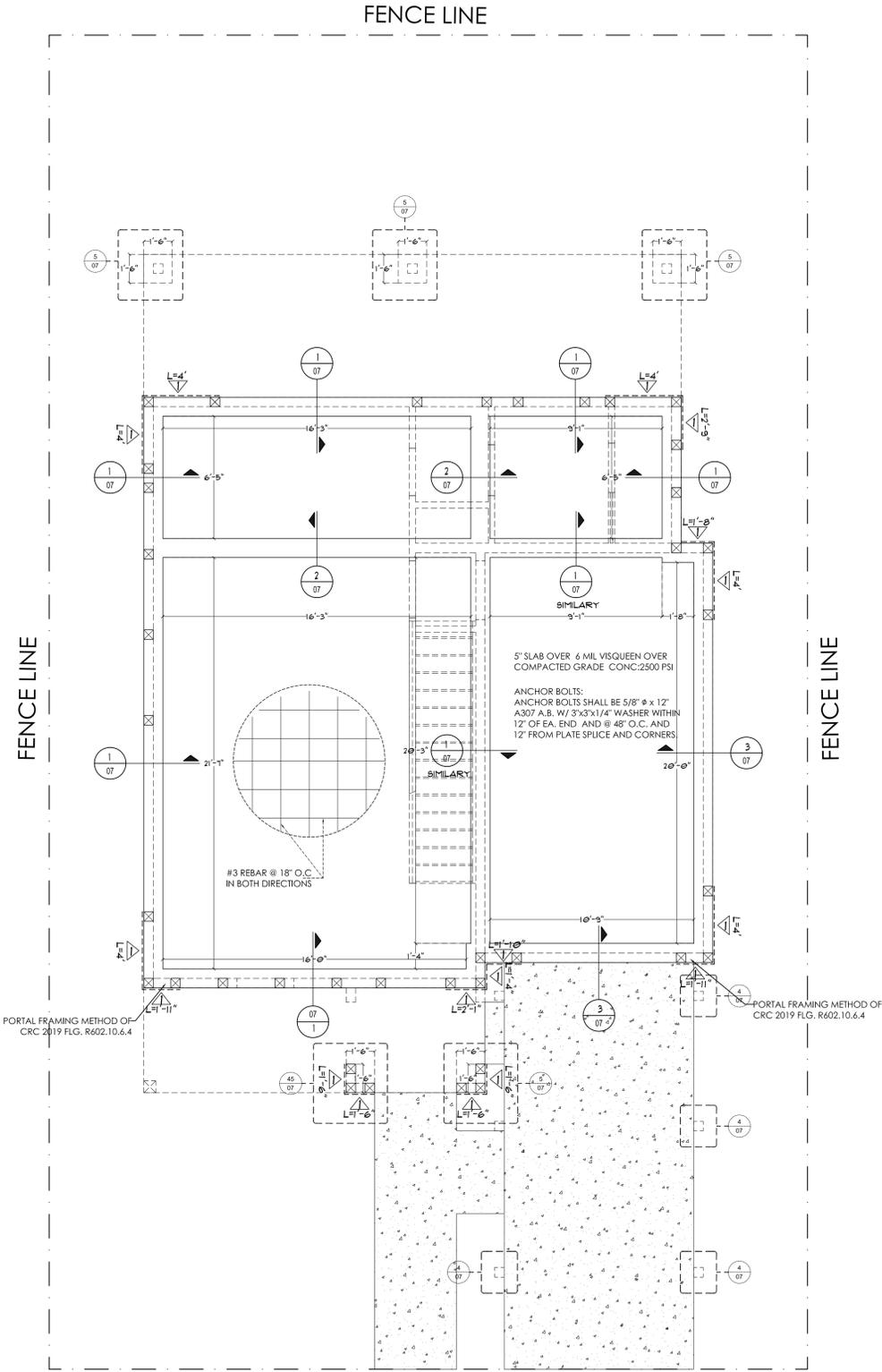
MECHANICAL SYMBOLS

- R
-  SUPPLY AIR DIFUSER
-  RETURN AIR GRILLE
-  FLEXIBLE DUCT
-  THERMOSTAT
-  A/C CENTRAL H.P. 5 TON.

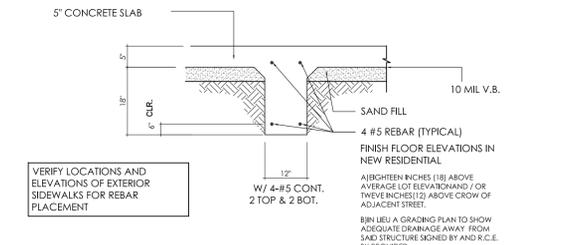
1

SITE PLAN

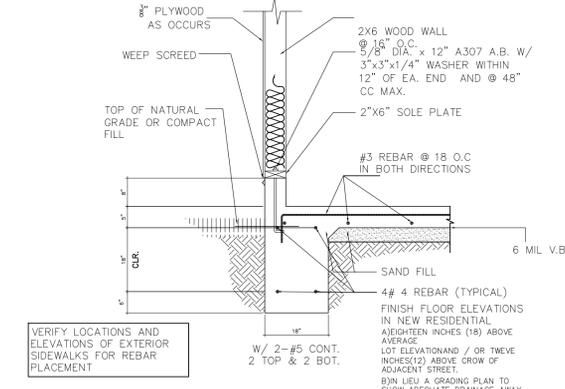
1/4" = 1' - 0"



1 PERIM. FIG. DETAIL
SCALE: 1/2"=1'-0"

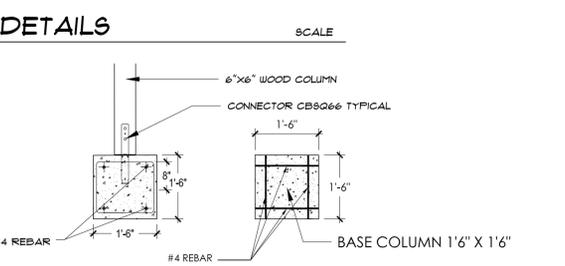


2 FOOTING DETAIL
SCALE: 1/2"=1'-0"

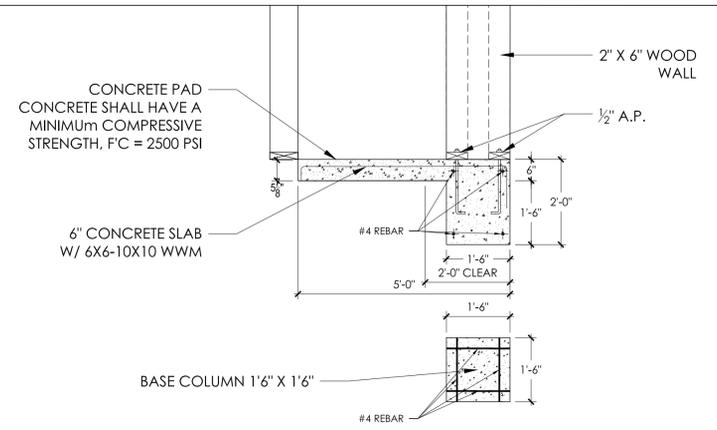


3 EXT. BEARING GARAGE CURB
SCALE: 1/2"=1'-0"

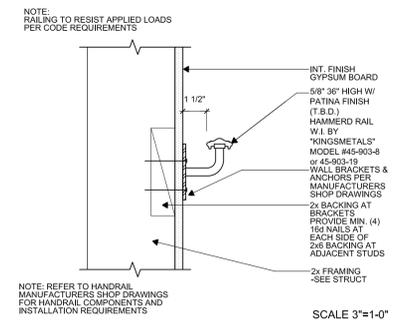
- 1 STRUCTURAL 1 PLYWOOD MIN. 3/8" EXTERIOR PANELS #8 NAILS @ 6" O.C. AT EDGES AND @12" AT FIELD
- 2 GYPSUM WALLBOARD 1/2" INTERIOR PANELS WITH 5D NAILS @ 7" O.C. AT ALL FRAMING MEMBERS.
- ☒ TYPICAL STHD10 SIMPSON HOLDDOWNS
- × WINDOW/DOOR POST DETAIL



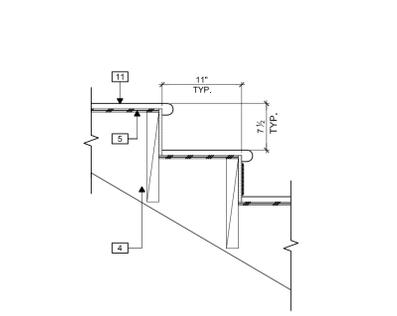
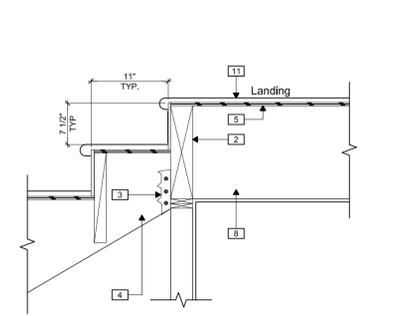
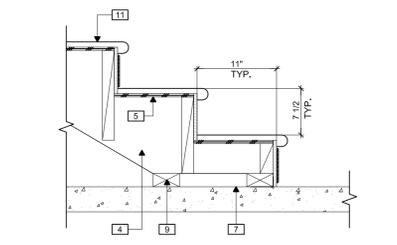
4 DETAIL COLUMN FOOTING AND SLAB (CARPORT)
SCALE: 1/2"=1'-0"



5 DETAIL COLUMN FOOTING AND SLAB
SCALE: 1/2"=1'-0"



6 DETAIL HANDRAIL
SCALE: 3"=1'-0"



- ### Keynotes
- 1- 5/8" 3x6" & 48" HIGH W/ PATINA FINISH (T.B.D.)
 - 2- METAL CABLE RAIL SYSTEM (T.B.D.)
 - 3- METAL HANGER AT EACH STRINGER SEE STRUCT.
 - 4- 2x STRINGERS AT EACH END SEE STRUCT.
 - 5- 5/8" PLYWOOD SHEATHING
 - 6- 1/2" TYPE "X" GYPSUM BOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS. UBC 1006.12. NOT APPLICABLE
 - 7- CONCRETE SLAB SEE STRUCT.
 - 8- FLOOR FRAMING -SEE STRUCTURAL
 - 9- (2) 2 X 4 P.T. PLATES SECURE PER STRUCT.
 - 10- FINISH OF STAIR BY OWNER
 - 11- WOOD FLOORING TREADS & RISERS
 - 12- 2 x 12 P.T. PLATE W/ 1/2" DIA. A.B. @ 24" O.C.
 - 13- 42" HIGH METAL CABLE GUARD RAIL
 - 14- METAL HANDRAIL NEWEL POST

- ### Stairways & Railings
- 1a.) SHALL HAVE A HEIGHT OF 42" (MAY BE 34" TO 38" ALONG THE SIDES OF STAIRS).
- 1b.) OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6"
- 2) HANDRAILS:
- SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS.
 - HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
 - THE HANDGRIP PORTION OF ALL HANDRAILS SHALL NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION.
 - HANDRAILS PROJECTING FROM WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL
- 3- PRIVATE RESIDENTIAL STAIRWAYS MAY BE CONSTRUCTED WITH A 7.75-INCH MAXIMUM RISE AND A 10-INCH MINIMUM TREAD DEPTH (run) [CRC §R311.7.5.1-311.7.5.2]
- 4- PROVIDE 1/2" GYPSUM BOARD AT WALLS, UNDER-STAIRS SURFACES, AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS. [CRC §R302.7]
- 5- PROVIDE A HANDRAIL AT STAIRWAYS WITH FOUR MORE RISERS. [CRC §R311.7.8] SHOW THE TOP OF HANDRAIL NOT LESS THAN 34 INCHES NOR MORE THAN 38 INCH ABOVE LANDINGS AND THE NOSING OF TREADS [CRC §R311.7.8.1]

- ### Landings
- PROVIDE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED EXTENDING A MINIMUM DIMENSION OF 36 INCHES. FLOOR ELEVATION SHALL COMPLY WITH THE FOLLOWING:
- q) FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD. [CRC R311.3.1]
- b) FLOORS AT THE REQUIRED EGRESS DOOR, PROVIDE THE DOOR DOES NOT SWING OVER THE LANDING, SHALL NOT BE MORE THAN 7-3/4" INCHES LOWER THAN THE TOP OF THE THRESHOLD. [CRC R311.3.1, EXCEPTION]
- c) DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4" INCHES BELOW THE TOP OF THRESHOLD. [CRC R311.3.2]
- d) EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL. [CRC R311.3]

Note:
PROVIDE GUARD(S) WITH A MINIMUM HEIGHT OF 42 INCHES [CRC §R312.2] WHERE A WALKING SURFACE IS MORE THAN 30 INCHES ABOVE GRADE [CRC §R312.1] OPEN GUARD RAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC §R312.3].



OWNER:

PROJECT:
STREET ADDRESS:

FRAMING PLAN

ENGINEER:

SEAL:

REVISIONS:

DRAWN:

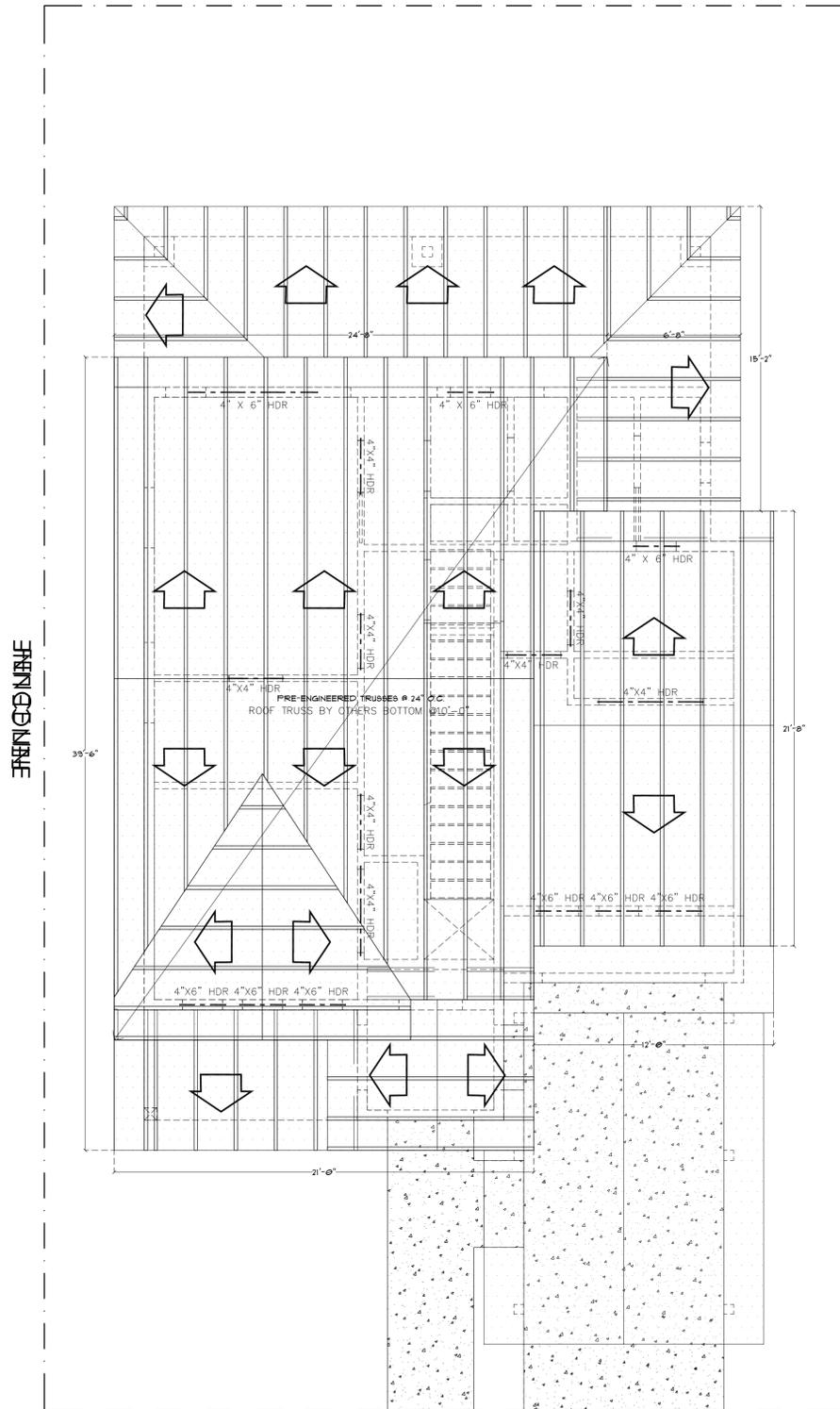
DATE: MARCH 11 2021

SCALE: INDICATED

SHEET:

08

FENCE LINE



FRAMING NOTES

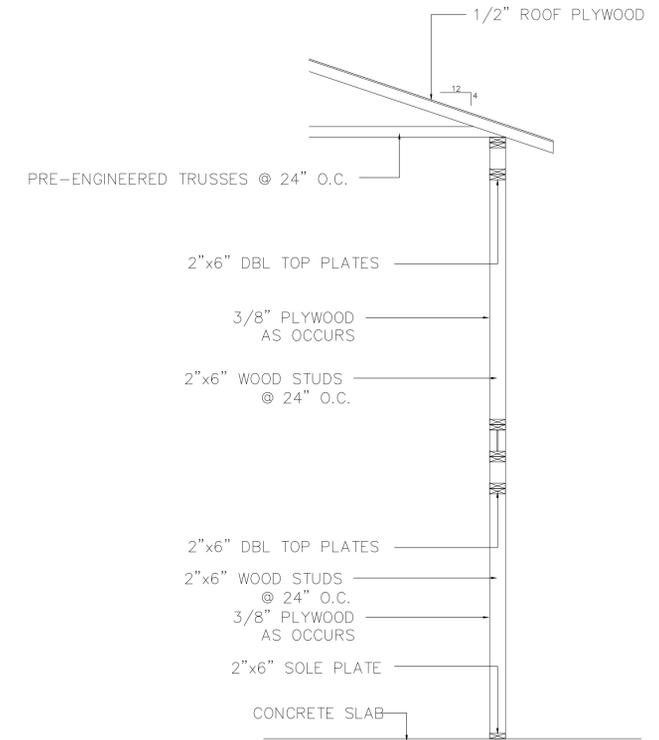
01. IT SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO VERIFY ALL DATA, DIMENSIONS, AND CONDITIONS OF THE SITE BEFORE PROCEEDING WITH THE WORK. IN CASE OF CONFLICT, NOTED DIMENSIONS TAKE PRECEDENCE OVER THE SCALE OF DRAWINGS.
02. ALL METAL ANCHORS, FASTENERS, AND CONNECTORS, ETC., SPECIFIED ON PLANS SHALL BE FROM "SIMPSON STRONG TIE CONNECTORS" OR AN APPROVED EQUAL IN STRUCTURAL DESIGN AND LOAD VALUES.
03. ALL EXPOSED METAL TO BE PRIMED AND PAINTED TO MATCH ADJACENT WOOD SURFACE.
04. ANY NON-BEARING WALLS OVER 14'-0" IN HEIGHT TO BE DOUBLE 2x4 STUDS DF #2 GRADE OR BETTER. (U.N.O.)
05. PROVIDE TWO LAYERS OF GRADE "D" BUILDING PAPER AT PAPER LOCATIONS WHERE WOOD SHEATHING OCCURS BENEATH STUCCO.
06. ALL STUCCO SHALL BE EXPANDED OR WIRE WOVEN LATH AND PORTLAND CEMENT OR No. 16 WIRE.

ROOF PLAN NOTES

01. ROOFING TO BE COMPOSITE ROOF SHINGLES, COLOR TO BE SELECTED BY OWNER AND INSTALLED PER MANUFACTURER INSTRUCTIONS
02. INDICATES ROOF SLOPE SEE ROOF PLAN FOR MORE INFO
03. ALL SHEET METAL ROOF PENETRATIONS TO BE PAINTED TO MATCH COLOR OF MOST ADJACENT ROOF.
04. ROOF VENTS TO BE (SIMPSON 2645) 100 SQ. IN.

TRUSS MANUFACTURE NOTTES

IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE TRUSS MANUFACTURER SHALL NOTIFY THE DESIGNER IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT THAT THE TRUSS MANUFACTURER FAILS TO GIVE SUCH NOTICE BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK, THE TRUSS MANUFACTURER WILL BE HELD RESPONSIBLE TO THE RESULT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.



4 PERIMETER WALL
SCALE: 3/8"=1'-0"



PLUMBING SYMBOLS

- 3/4" Ø COLD WATER
- 1/2" Ø HOT WATER
- └┘ HOUSE BIB
- 1/2" Ø GAS LINE

PLUMBING MATERIAL SCHEDULE

| MATERIAL | SYSTEM |
|----------|----------------------------|
| TYPE PEX | POTABLE WATER (ABOVE SLAB) |
| TYPE ABS | POTABLE WATER (BELOW SLAB) |

PLUMBING MATERIAL SCHEDULE

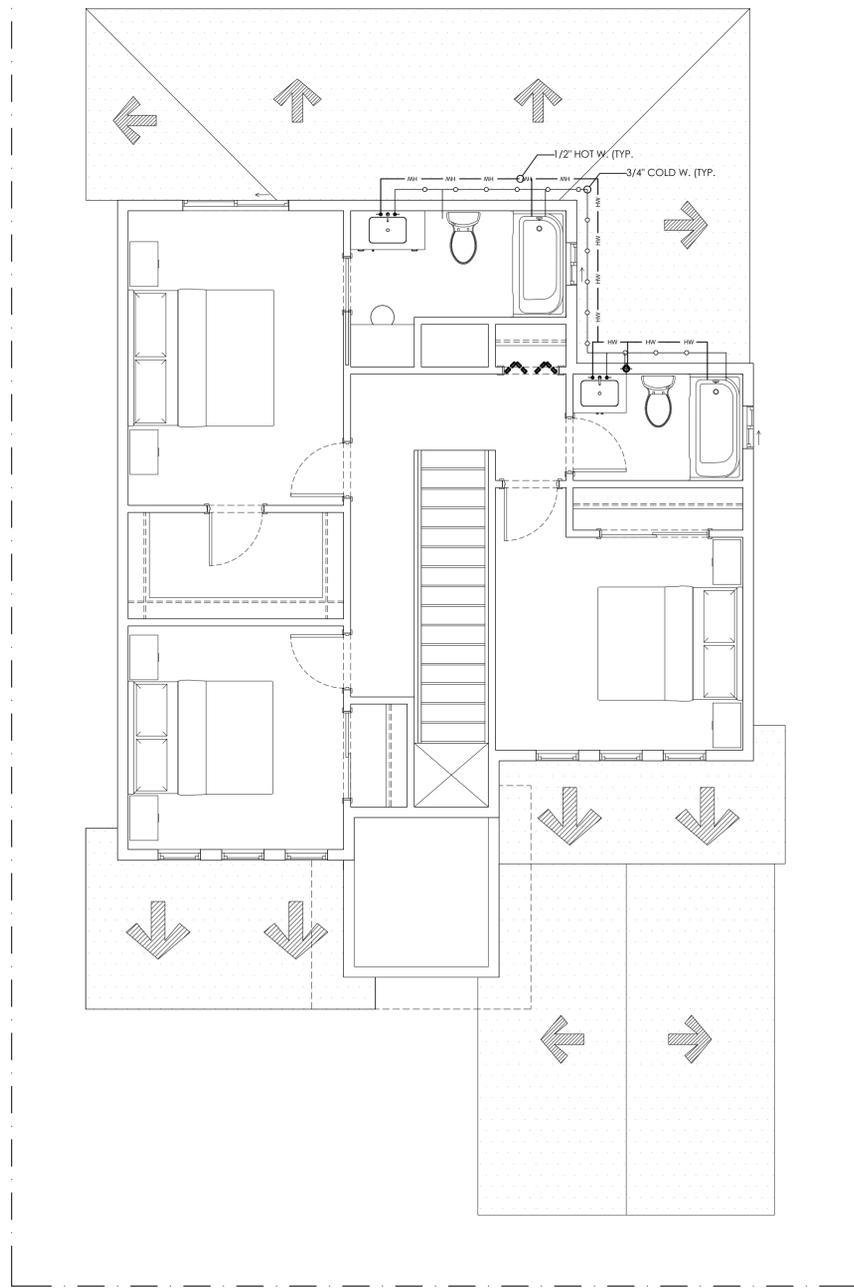
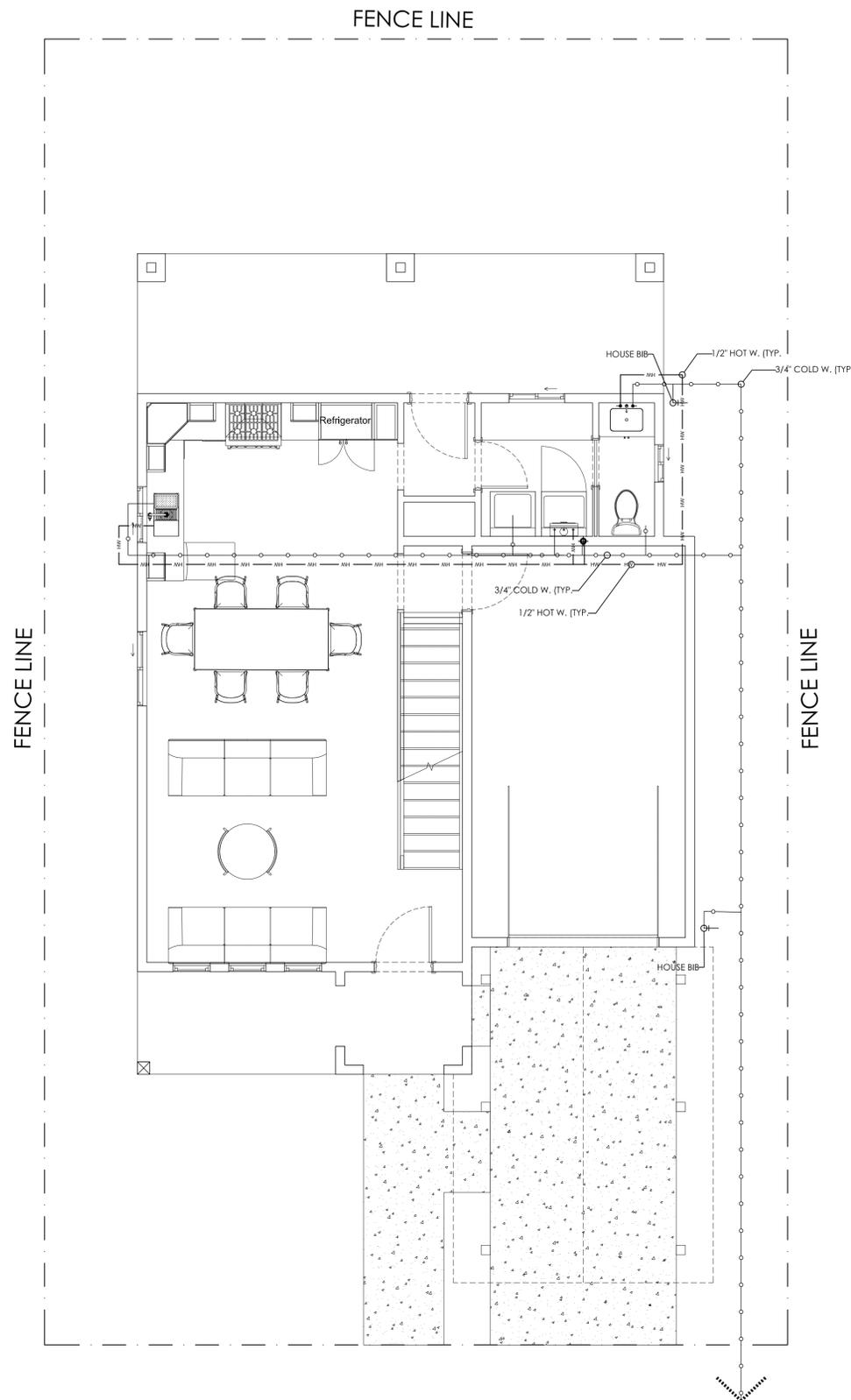
- PROPOSE GAS WATER HEATER 40 GAL. CAPACITY.
- SLOPE AND DRAIN AND WASTE LINE SHALL BE AT LEAST 1/4" = 12".
- OVERALL RUN OF 1" Ø WATER LINE FROM WATER METER AND REDUCE TO 1/2" Ø AT FIXTURE CONNECTIONS.
- WATER LINE INSIDE THE BUILDING TO BE RUN OVER HEAD.
- WATER PRESSURE AT WATER METER = 45 psi.
- "PEX" IS USED PROVIDE COMPLIANCE WITH CPC2019 - 604.1.2

CPC 2019 - 604.1.2 PEX

All installations of PEX pipe where it is the initial plumbing piping installed in new construction shall be flushed twice over a period of at least one week. The pipe system shall be first flushed for at least 10 minutes and then filled and allowed to stand for no less than 1 week, after which all the branches of the pipe system must be flushed long enough to fully empty the contained volume. This provision shall not apply to the installation of PEX pipe where it replaces an existing pipe system of any material.

1. At the time of fill, each fixture shall have a removable tag applied stating:

(A) "This new plumbing system was first filled and flushed on _____ (date) by _____ (name). The State of California requires that the system be flushed after standing at least one week after the fill date specified above. If this system is used earlier than one week after the fill date, the water must be allowed to run for at least two minutes prior to use for human consumption. This tag may not be removed prior to the completion of the required second flushing, except by the building owner or occupant."
2. Prior to issuing a building permit to install PEX pipe, the building official shall require as part of the permitting process that the contractor, or the appropriate plumbing subcontractors, provide written certification that he or she will comply with the flushing procedures set forth in the code.
3. The building official shall not give final permit approval of any PEX plumbing installation unless he or she finds that the material has been installed in compliance, with the requirements of the code, including the requirements to flush and tag the systems.
4. Any contractor or subcontractor found to have failed to comply with the PEX flushing requirements shall be subject to the penalties in Health and Safety Code, Division 13, Part 1.5, Chapter 6 (Section 17995, et seq.).



3/4"Ø COLD WATER LINE TO BE CONNECTED TO CITY WATER LINE.

OWNER: _____
PROJECT: _____
STREET ADDRESS: _____

PLUMBING PLAN

ENGINEER: _____
SEAL: _____

REVISIONS: _____

DRAWN: _____
DATE: MARCH 11 2021
SCALE: INDICATED



OWNER:

PROJECT:
STREET ADDRESS:

SEWER PLAN

ENGINEER:

SEAL:

REVISIONS:

DRAWN:

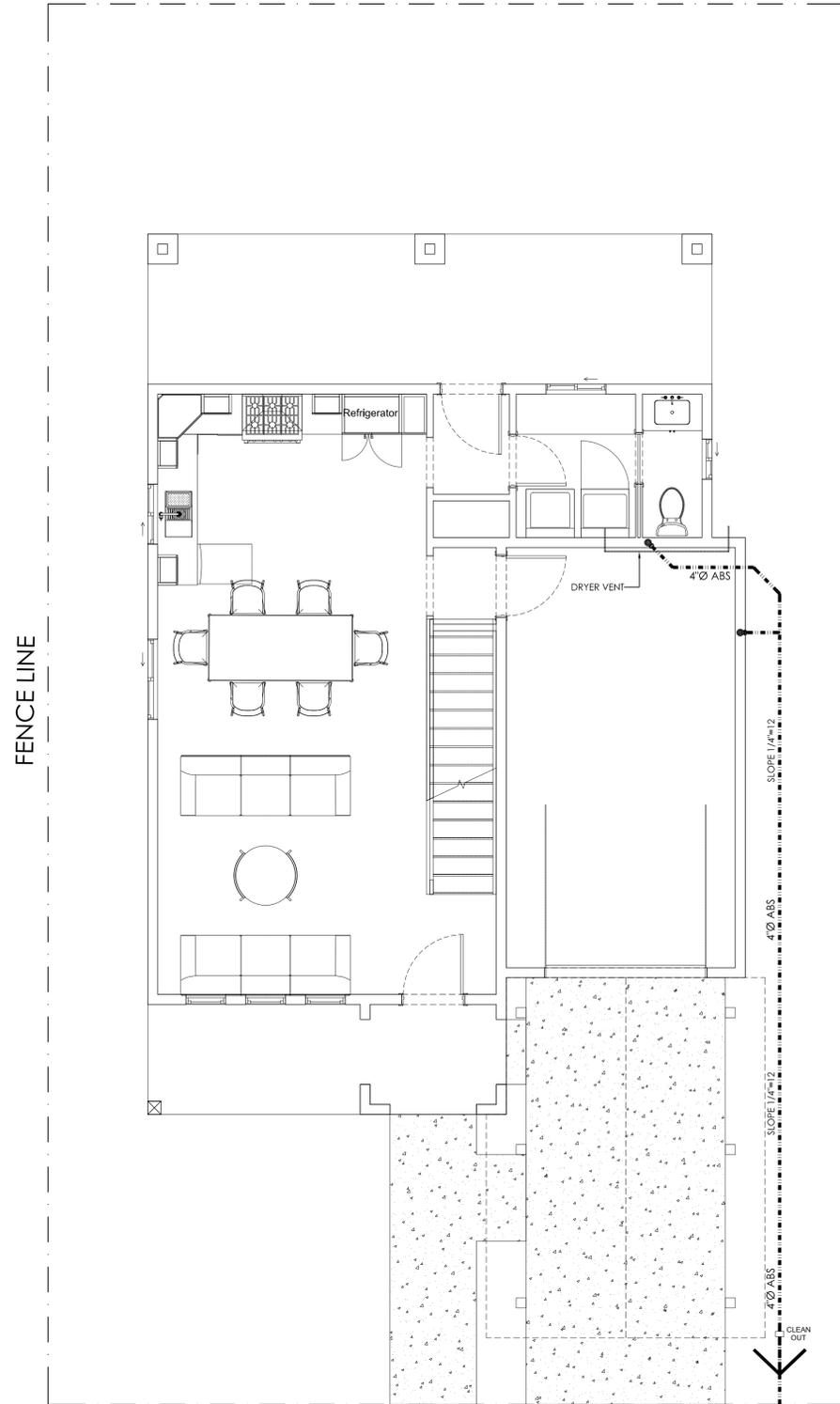
DATE: MARCH 11 2021

SCALE: INDICATED

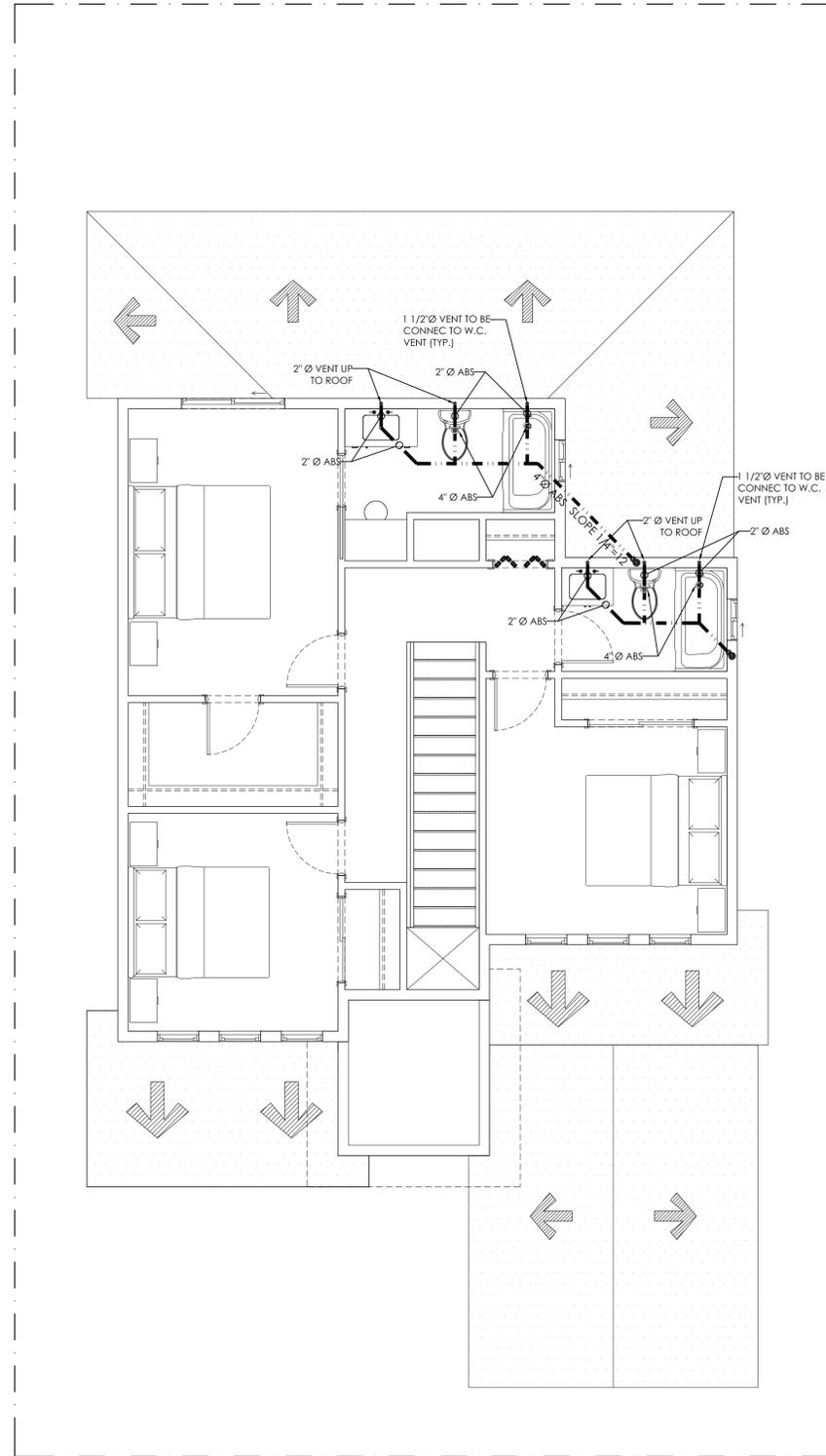
SHEET.

10

FENCE LINE



4"Ø ABS DRAIN CONNec TO MAIN SEWER LINE PROVIDE 2-WAY CLEAN OUT BEFORE CONNECTIONS TO EXISTING SEWER LINE (VERIFY LOCATION ON SITE)



PLUMBING SYMBOLS

- 4" OR 2" Ø ABS DRAIN
- CLEAN OUT 4" Ø
- VENTS TO ROOF
- VENTS TO ROOF

PLUMBING MATERIAL SCHEDULE

| MATERIAL | SYSTEM |
|-----------------|-------------------------------|
| SCHEDULE 40 ABS | SEWER (DRAIN, WASTE AND VENT) |
| SCHEDULE 40 PVC | ROOF DRAIN |
| SCHEDULE 40 PVC | CONDENSATE DRAIN LINE |

FENCE LINE

FENCE LINE

1

SEWER PLAN

1/4" = 1' - 0"